



GUILDCREST ESTATES



4 Upper Gore Lane
Eastry, Sandwich CT13 0LH





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**Upper Gore Lane
Eastry, Sandwich, CT13
0LH
£290,000**

Guildcrest Estates are calling all first time buyers and investors, this super property has great potential and being sold chain free.

This three bedroom semi detached house is situated in the village of Eastry. Sitting in an elevated position, the property has a lot to offer, from parking to the rear with detached garage, good sized sunny garden and garden room. This property would benefit from cosmetic updating and is being sold with no chain .

Ground floor - Front door leads straight into a good sized lounge with feature fireplace, kitchen / breakfast room comes with fitted wall & base units and good sized larder housing consumer unit . Garden room leading out onto patio and lawned area with access to garage and parking .

Upstairs - Two double bedrooms, 1 single bedroom , storage cupboard and bathroom with three piece suite.





The parish of Eastry is located on the fringes of Sandwich, approx. 2.5-miles away. The village boasts a variety of local amenities such as convenient stores, post office, public houses, and village hall and is well known for its popular primary school. Eastry is in a great position for commuters with the A256 Sandwich bypass, with regular bus routes to the city of Canterbury and Sandwich.

Council Tax Band C
EPC Rating C



Gore Lane, Eastry, Sandwich, CT13

Approximate Area = 998 sq ft / 92.7 sq m

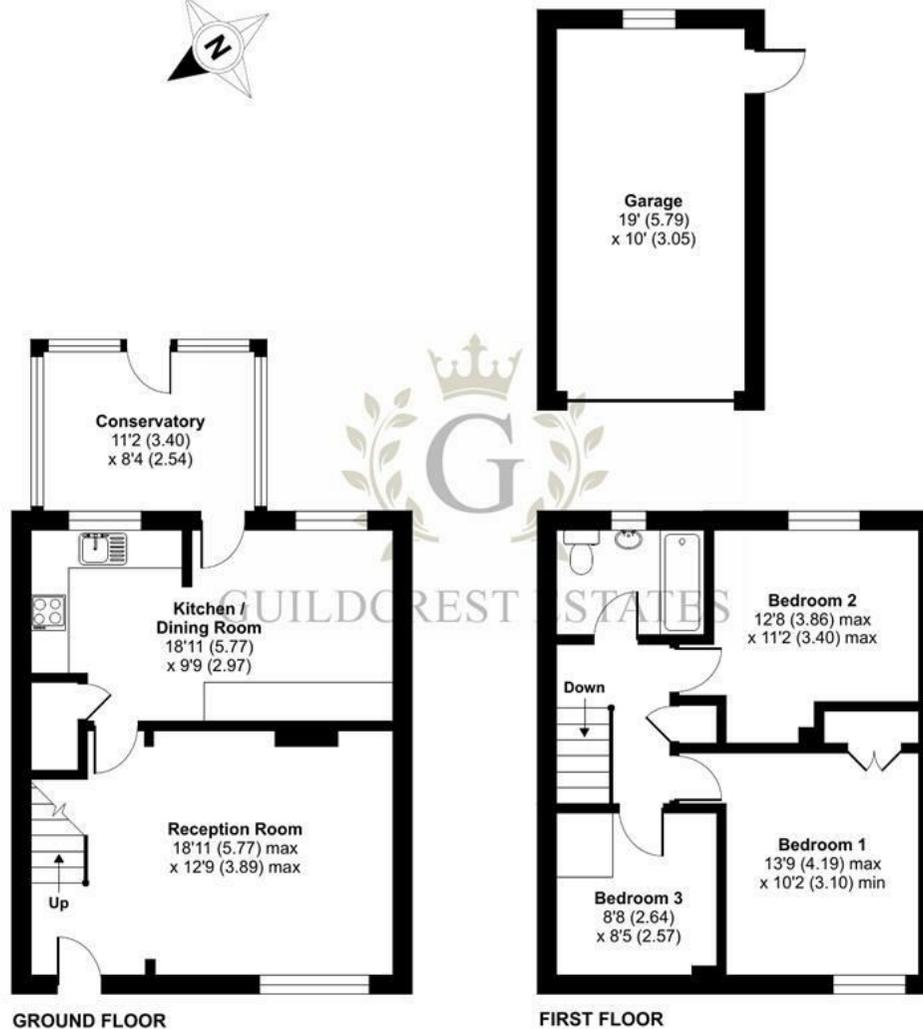
Garage = 190 sq ft / 17.6 sq m

Total = 1188 sq ft / 110.3 sq m

For identification only - Not to scale



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Disclaimer

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.



Floor plan produced in accordance with RICS Property Measurement Standards incorporating International Property Measurement Standards (IPMS2 Residential). © nichecom 2024. Produced for Guildcrest Estates Ltd. REF: 1079710.

Manston

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